



OPEN MEETING

REGULAR MEETING OF THIRD LAGUNA HILLS MUTUAL ARCHITECTURAL CONTROLS AND STANDARDS COMMITTEE*

**Monday, December 19, 2022 – 9:30 a.m.
Laguna Woods Village Board Room/Virtual Meeting
24351 El Toro Road, Laguna Woods, California**

Laguna Woods Village owners/residents are welcome to participate in all open committee meetings and submit comments or questions virtually using one of the following options:

1. Join the committee meeting via a Zoom link at: <https://us06web.zoom.us/j/93156707417> or by calling 669-900-6833 Webinar ID:93156707417.
2. Via email to meeting@vmsinc.org any time before the meeting is scheduled to begin or during the meeting. Please use the name of the committee in the subject line of the email. Your name and unit number must be included.

NOTICE AND AGENDA

This Meeting May Be Recorded

1. Call Meeting to Order
2. Approval of the Agenda
3. Approval of the Meeting Report for November 28, 2022
4. Remarks of the Chair
5. Member Comments - *(Items Not on the Agenda)*
6. Response to Member Comments
7. Department Head Update
8. Consent Calendar: *All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*

None.
9. Variance Requests
 - a. 3446-A: Retain CertainTeed Landmark Terracotta Shingles

Third Architectural Controls and Standards Committee
Regular Open Meeting
December 19, 2022
Page 2 of 2

10. Items for Discussion and Consideration
 - a. Revision to Architectural Standard 4: Air Conditioning Units/Heat Pumps
 - b. Revision to Architectural Standard 31: Washer and Dryer Installations
11. Items for Future Agendas
 - a. Revised Resale Inspection Fee Schedule
 - b. Under 32 SF and Under 100 SF Asbestos Abatement To Be Performed As a Chargeable Service
12. Committee Member Comments
13. Date of Next Meeting: January 23, 2023 at 9:30 a.m.
14. Adjournment

*A quorum of the Third Board or more may also be present at the meeting.

Jim Cook, Chair
Baltazar Mejia, Staff Officer
Telephone: 949-597-4616



OPEN MEETING

**REGULAR MEETING OF THIRD LAGUNA HILLS MUTUAL
ARCHITECTURAL CONTROLS AND STANDARDS COMMITTEE***

**Monday, November 28, 2022 – 9:30 a.m.
Laguna Woods Village Board Room/Virtual Meeting
24351 El Toro Road, Laguna Woods, California**

REPORT

COMMITTEE MEMBERS PRESENT: Jim Cook – Chair, Ralph Engdahl, Nathaniel Ira Lewis, Cris Prince

COMMITTEE MEMBERS ABSENT: Cush Bhada (Absent), Mike Plean-Advisor (Excused)

OTHERS PRESENT: Michael Butler, Lisa Mills - Advisors

STAFF PRESENT: Bart Mejia – Maintenance & Construction Assistant Director, Abraham Ballesteros - Inspector II, Manor Alterations, Sandra Spencer - Administrative Assistant

1. Call Meeting to Order

Chair Cook called the meeting to order at 9:30 a.m.

2. Approval of the Agenda

Hearing no objection, the agenda was unanimously approved as written.

3. Approval of the Meeting Report for October 24, 2022

Hearing no objection, the meeting report was unanimously approved as written.

4. Remarks of the Chair

None.

5. Member Comments - (Items Not on the Agenda)

None.

6. Response to Member Comments

None.

7. Department Head Update

Mr. Mejia updated the committee regarding the staffing vacancies; response time to phone calls and emails; and updated the committee on the online revised Water Heater Replacement Form.

8. Consent Calendar: *All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*

a. Over-The-Counter Variances

The Monthly Mutual Consent Calendar was approved unanimously.

9. Variance Requests

a. 2400-3D – Install non-standard size condenser on ground level

The variance was introduced by Mr. Ballesteros. Discussion ensued and staff answered questions from the committee regarding rooftop solar panels preventing condenser units from being installed on the roof; easier access for maintenance when installed at ground level; the power source for the condenser; and suggested revisions to Standard 4 – Air Conditioning Units/Heat Pumps.

- A member emailed comments against approving the variance.

A motion was made to approve the variance as described. Hearing no objection, the variance was approved by unanimous consent.

b. 3468-A – Fence and gate on entry common area

The variance was introduced by Mr. Ballesteros. Discussion ensued and staff answered questions from the committee regarding the member's responsibility to maintain the area within the fenced and gated patio area.

A motion was made to approve the variance as described. Hearing no objection, the variance was approved by unanimous consent.

c. 5043 – Pavers on walkway, rear patio extension (2), replace wood fence with stucco wall

The variance was introduced by Mr. Ballesteros. Discussion ensued and staff answered questions from the committee regarding placement of the pavers.

A motion was made to approve the variance as described. Hearing no objection, the variance was approved by unanimous consent.

d. 5110 – Office room addition onto front courtyard, reduction in bedroom count from 3 to 2, master bedroom extension onto rear patio, 3rd bathroom, laundry room, relocate kitchen to dining room, 10' sliding glass door in living room, relocate entry door, new construction garden window in kitchen

The variance was introduced by Mr. Ballesteros. Discussion ensued and staff answered questions from the committee regarding the incorrect owner name on the plans; elimination of the fireplace and subsequent roofing repair contractor options. Staff will ensure the owner name on the plans is corrected by the contractor.

A motion was made to approve the variance as described. Hearing no objection, the variance was approved by unanimous consent.

10. Items for Discussion and Consideration

a. Washer/Dryer Installations in Three-Story Buildings – Verbal Report

Mr. Mejia introduced the item, described two scenarios for the existing waste lines (epoxy-lined and unlined) and how it will affect the review packet for these requests. Additional conditions will apply to proposed installations that utilize unlined waste lines. Discussion ensued regarding the language in the Standard; the potential reduction in wear and tear on the laundry rooms; and the recent reduction of water usage within the mutual. Mr. David Gorevitz of 4009-3C addressed the committee with comments that some owners in Building 4009 have indicated a desire to pay out of pocket for the sewer lines to be scoped and potentially cleared in order that they could move ahead with installing personal washer/dryer units in their manors.

Staff was directed to draft revisions to the Standard for review by the committee at a future meeting.

b. Revision to Architectural Standard 26: Skylight Installations

Mr. Mejia introduced the item and answered questions from the committee.

Staff was directed to further revise the Standard with regard to color and the requirement that new skylights match existing skylights and present the revisions to the Third Board.

11. Items for Future Agendas

- a. Under 32 SF and Under 100 SF Asbestos Abatement To Be Performed As a Chargeable Service
- b. Revised Resale Inspection Fee Schedule

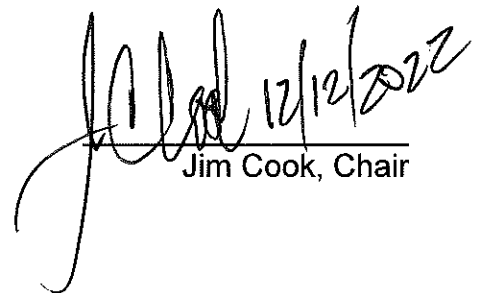
12. Committee Member Comments

- Advisor Butler offered Davis-Stirling Civil Code Section 4600 as clarification regarding the variance request at 3468-A.
- Advisor Mills congratulated the staff on the efficient water heater replacement form and suggested using the same process for replacement windows/doors and HVAC systems.
- Chair Cook commented on the staff's hard work and moving forward with efficiencies for the benefit of the mutual members.

13. Date of Next Meeting: December 19, 2022

14. Adjournment

The meeting was adjourned at 11:00 a.m.



12/12/2022
Jim Cook, Chair

Jim Cook, Chair
Baltazar Mejia, Staff Officer
Telephone: 949-597-4616

Third ACSC – December 19, 2022

Variance Requests

Agenda Item #9	Manor Address	Description of Request	Summary of Request and Staff Recommendation (*)
A	3446-A	Retain CertainTeed Landmark Terracotta Shingles	<p>1. 3446-A is standalone unit.</p> <p>2. A mutual consent was approved 6/8/22 to install solar panels.</p> <p>3. Correction noticed was issued on 11/2/22 to install the correct shingles and color.</p> <p>4. CertainTeed Landmark shingles were installed instead of CertainTeed Landmark Triple Laminare per standard 41.2.11.</p> <p>5. The correct color is Shenandoah. The current color of shingles installed are terracotta.</p> <p>6. Solar panels have yet to be installed.</p> <p>Staff Recommendation: Approve</p>

(*) The following attachments are included for your review and reference.

1. Variance Request Form
2. Photos
3. Location Map
4. Plan(s)
5. Draft Conditions of Approval
6. Draft Resolution

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Manor 3446-A

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ATTACHMENT 1
VARIANCE REQUEST
FORM

MANOR # 3446-A
☐ ULWM ☒ TLHM
 SA 21692859

Model: <u>Andaluz</u>	Plan: <u>P43B</u>	Date: <u>11-29-22</u>
Member Name: <u>TODD CHAPMAN</u>	Signature: <u>[Redacted]</u>	
Phone:	E-mail: <u>[Redacted]</u>	
Contractor Name/Co: <u>ZENERNET</u>	Phone: <u>855-373-4101</u>	E-mail: <u>CUSTOMERSERVICE@zoner.net</u>
Mailing Address: (to be used for official correspondence) <u>3446 BAHIA BLANCA WEST A, LW CA 92637</u>		

Description of Proposed Variance Request ONLY:

Retain CERTAINTED LANDMARK SHINGLES IN PLACE
OF LANDMARK LT SHINGLES.
(SEE LETTER ATTACHED DATED 11-12-22)
INCL: DATA SHEETS (2), LETTER AND ROOF PLAN, FLOOR PLAN
ELEVATIONS

Dimensions of Proposed Variance Alterations ONLY:

800 ☐

FOR OFFICE USE ONLY

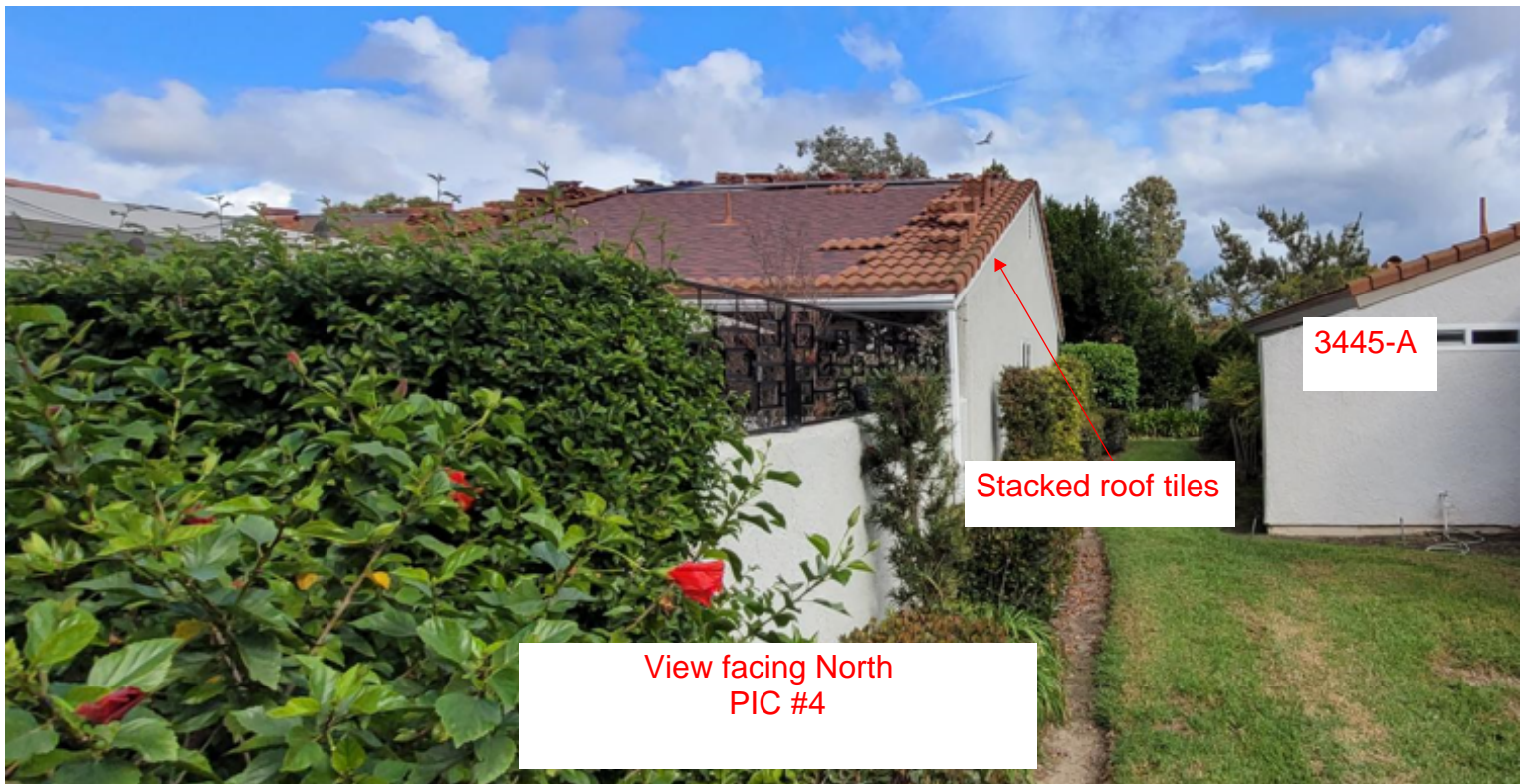
RECEIVED BY: _____ DATE RECEIVED: _____ Check# _____ BY: _____

Alteration Variance Request Check Items Received: <input type="checkbox"/> Drawing of Existing Floor Plan <input type="checkbox"/> Drawing of Proposed Variance <input type="checkbox"/> Dimensions of Proposed Variance <input type="checkbox"/> Before and After Pictures <input type="checkbox"/> Other: _____	Complete Submittal Cut Off Date: Meetings Scheduled: Third AC&S Committee (TACSC): _____ United AC&S Committee: _____ Board Meeting: _____ <input type="checkbox"/> Denied <input type="checkbox"/> Approved <input type="checkbox"/> Tabled <input type="checkbox"/> Other _____
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ATTACHMENT 2
PHOTOS



ATTACHMENT 2
PHOTOS

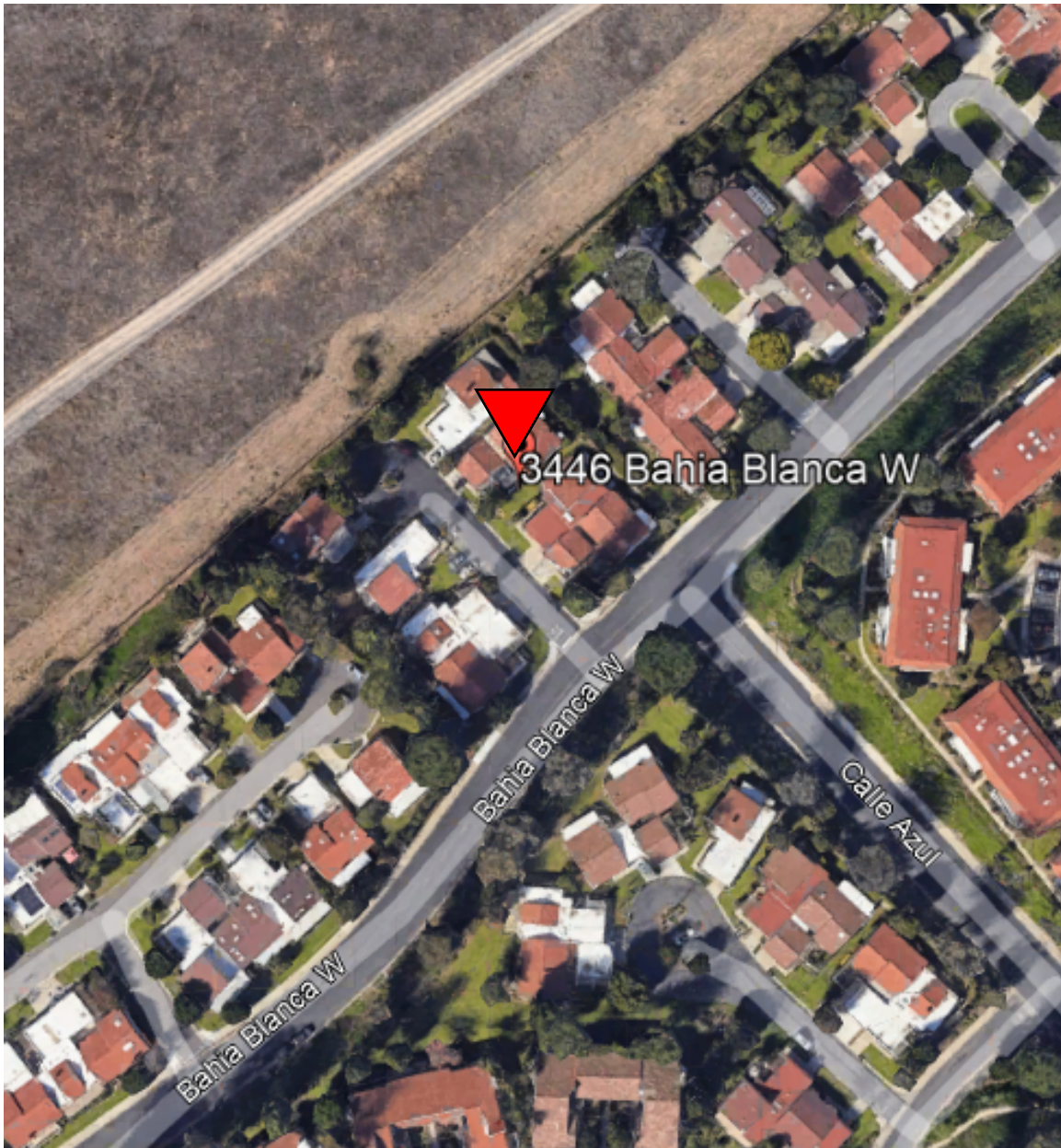


ATTACHMENT 3
AERIAL

3446-A
Bahia
Blanca
West

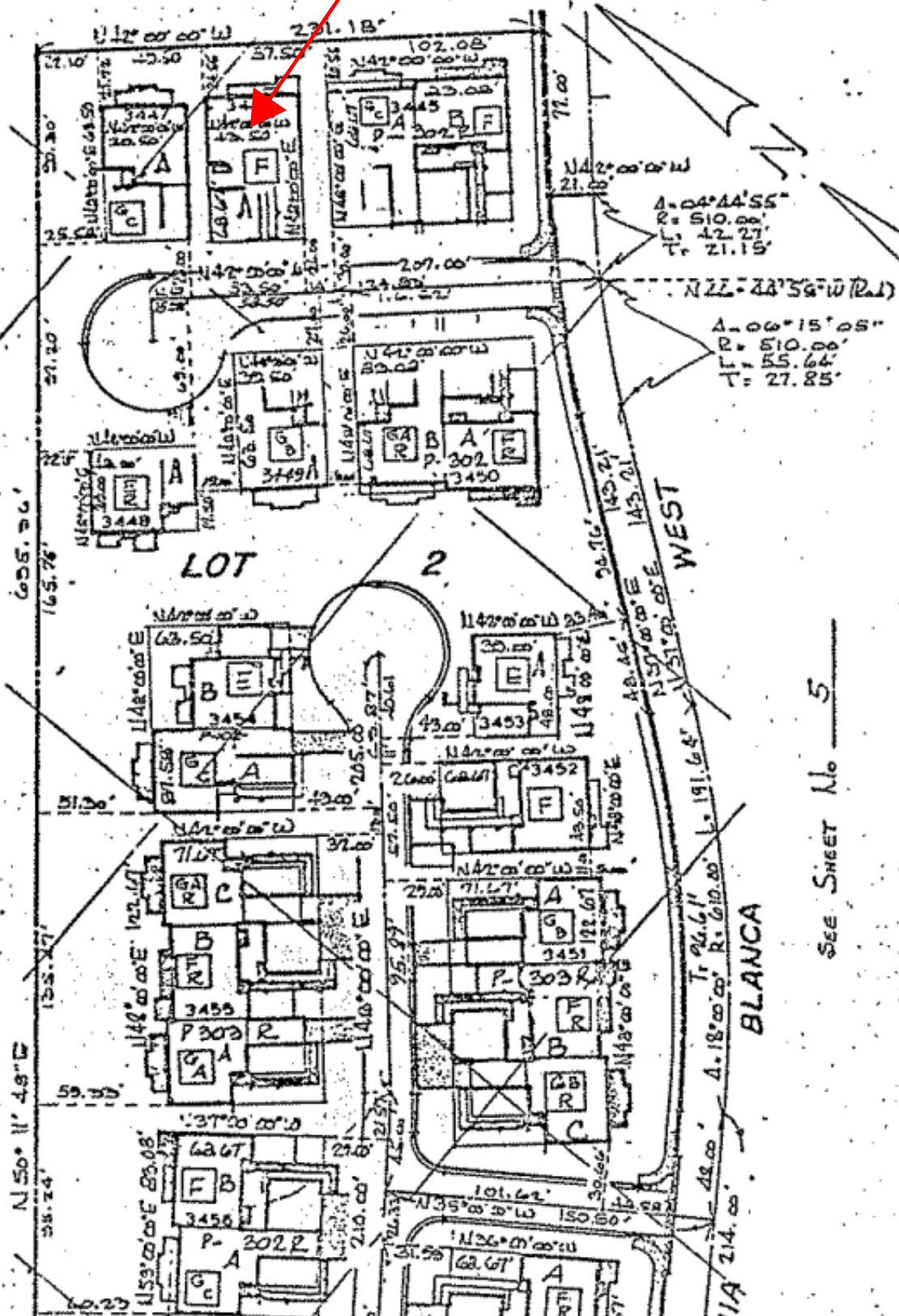


SYMBOL DENOTES LOCATION OF MANOR

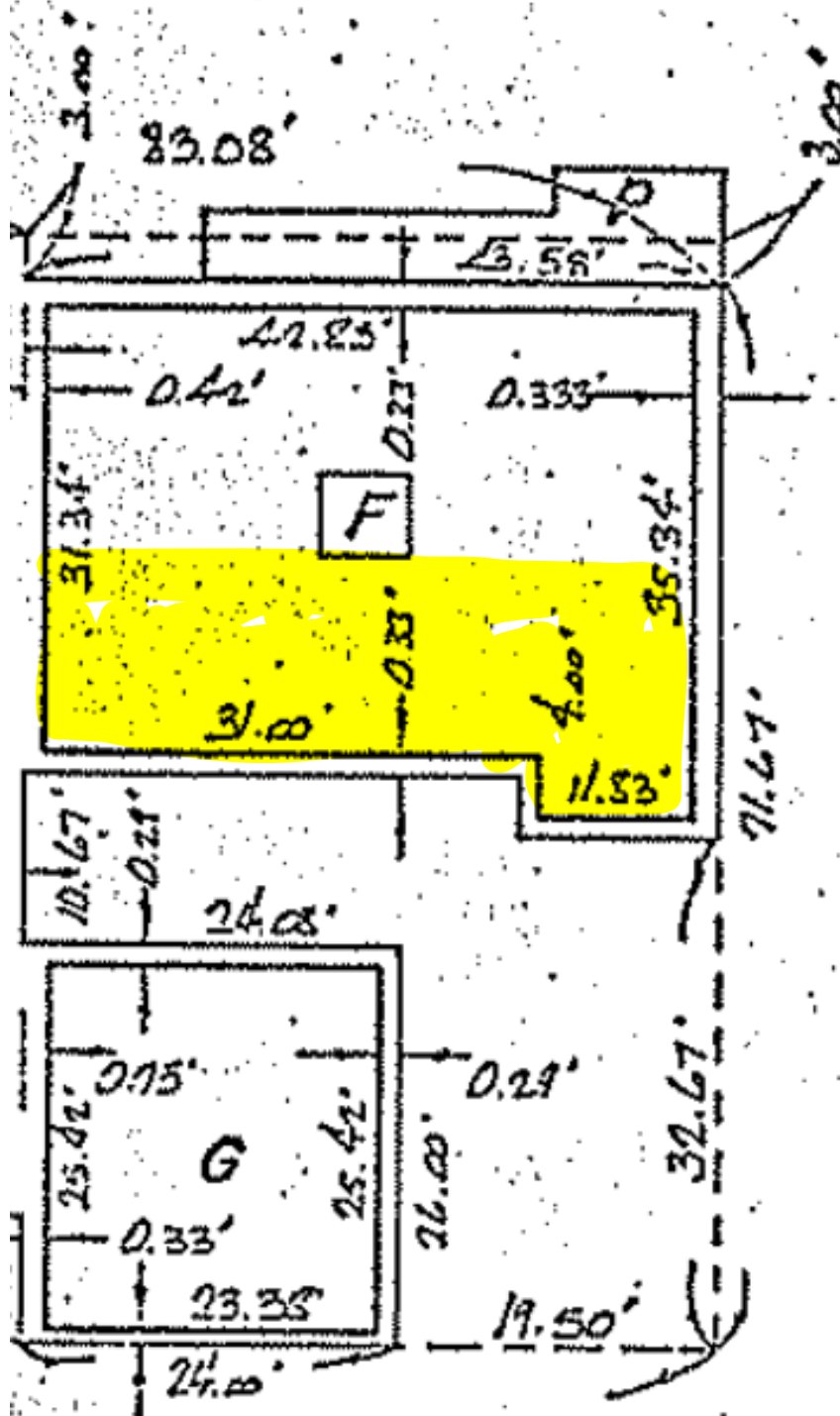


ATTACHMENT 3
LOCATION MAP

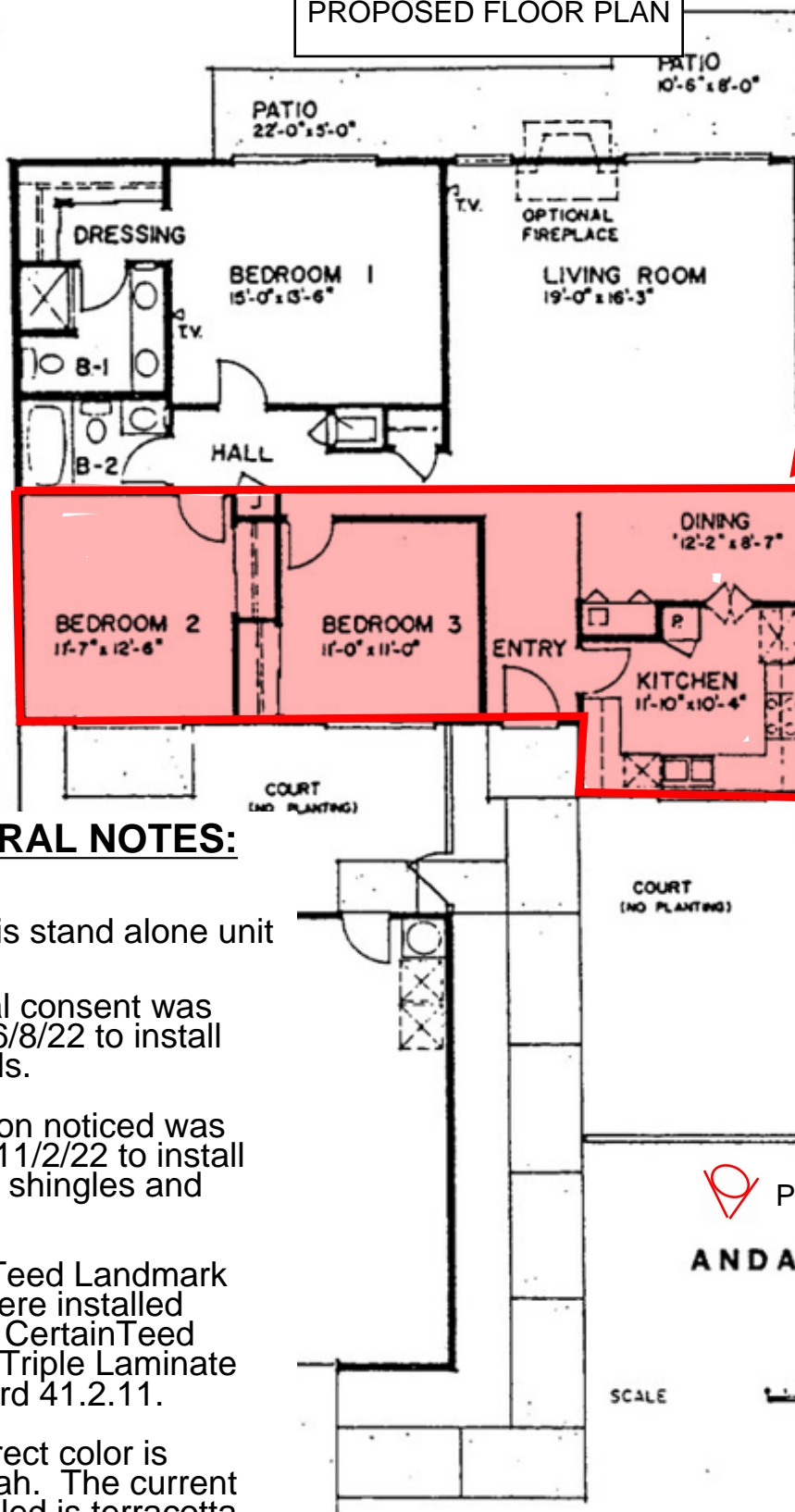
3446-A



ATTACHMENT 3
TRACT MAP



ATTACHMENT 4
PROPOSED FLOOR PLAN



Retain nonstandard shingles

GENERAL NOTES:

1. 3446-A is stand alone unit
2. A mutual consent was approved 6/8/22 to install solar panels.
3. Correction noticed was issued on 11/2/22 to install the correct shingles and color.
4. CertainTeed Landmark shingles were installed instead of CertainTeed Landmark Triple Laminate per standard 41.2.11.
5. The correct color is Shenandoah. The current color installed is terracotta.
6. Solar panels have yet to be installed.

PIC #2

PIC #4

PIC #3

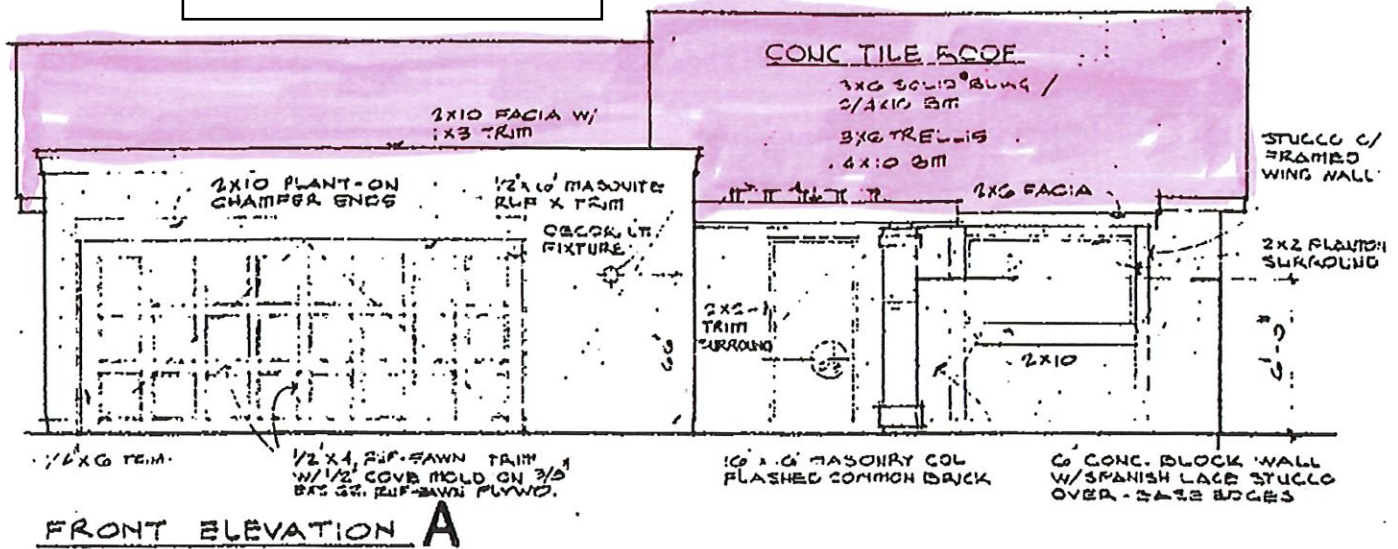
ANDALUZ(P43)R

SCALE

PIC #1

ATTACHMENT 4
PROPOSED FLOOR PLAN

AREA FOR VARIANCE



Andaluz(P43)

**ATTACHMENT 4
VARIANCE LETTER**

Todd W. Chapman

Date: November 12, 2022

3446 Bahia Blanca West "A"

Laguna woods, CA 92637

TO: Third Manor and alterations dept.

Attn: Rodd Whiston

RE: Variance request for manor 3446 "A"

This request is for roofing shingles installed for upcoming solar panel installation. The shingles installed are CertainTeed "Landmark" shingles. These shingles carry the same lifetime warranty as the series listed in section 41 (specification sheet attached) and as the color installed will be under the solar panels. Future shingle installations can be inserted without impact.

Single installed complies with existing standards

There is no cost impact to the HOA

Shingle conforms to local & state building codes

Shingle complies with applicable city and state laws

Value impact is the same

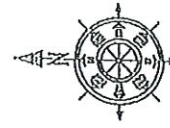
Please review this request at the next board meeting

Thank you

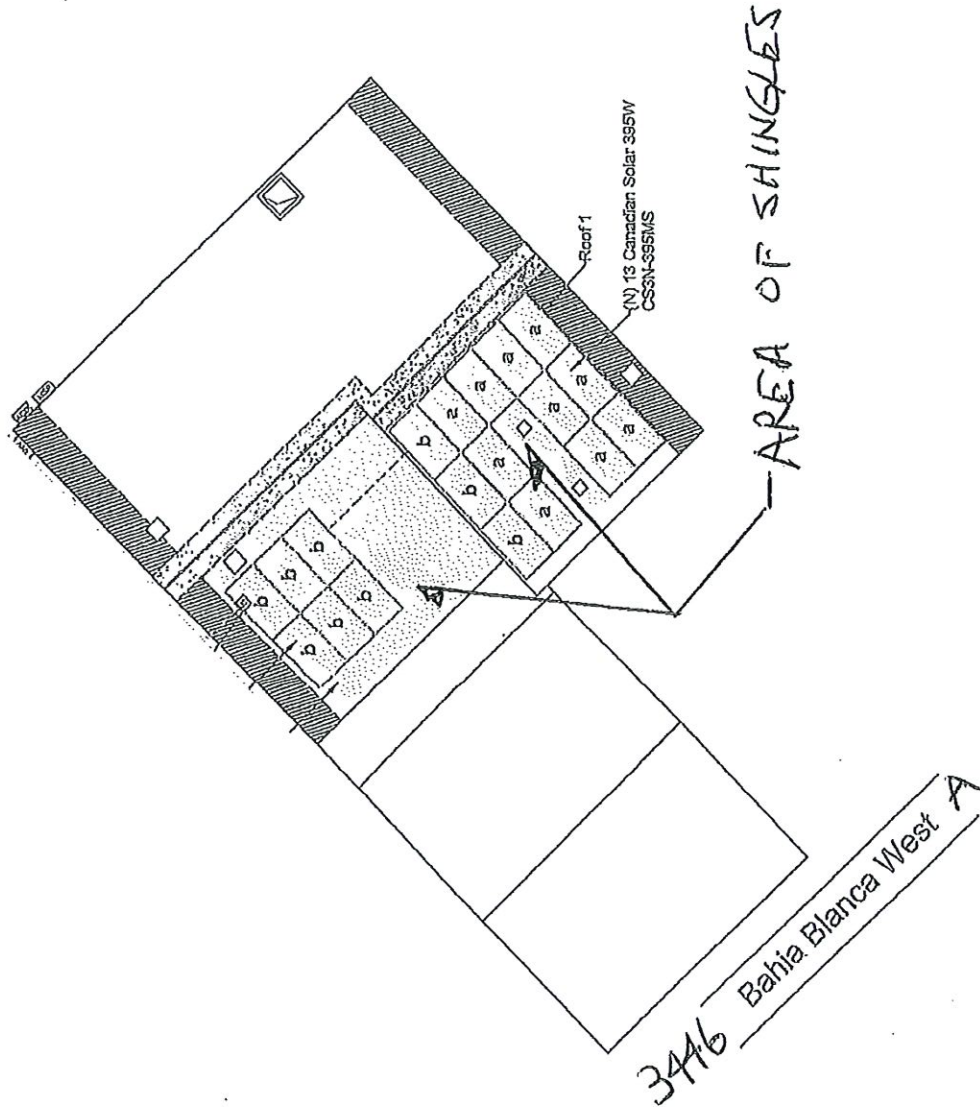
Todd Chapman

Attached: CertainTeed Landmark specifications, Solar panel and shingle installation area

ATTACHMENT 4 PROPOSED LOCATION OF SOLAR PANELS



SCALE: 1/10"=1'
0 1 5 10



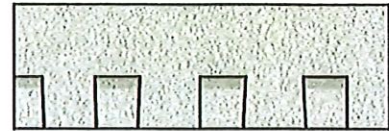


Technical Data Sheet

Landmark®, Landmark® Premium, Landmark® Pro Shingles, Landmark® Pro/Architect 80 (NW Region Only) Shingles

PRODUCT INFORMATION

Landmark shingles reflect the same high manufacturing standards and superior warranty protection as the rest of CertainTeed's line of roofing products. Landmark Premium (and Algae Resistant-AR), Landmark PRO (and AR) and Landmark (and AR) are built with the industry's toughest fiber glass mat base, and their strict dimensional tolerance assures consistency. Complex granule color blends and subtle shadow lines produce a distinctive color selection. Landmark is produced with the unique NailTrak® nailing feature. *Please see the installation instruction section below for important information regarding NailTrak.*



In the Northwest Region Landmark PRO (AR) is double-branded as Landmark PRO/Architect 80 (AR).

Landmark algae-resistant (AR) shingles are algae-resistant and help protect against dark or black discoloration, sometimes called staining or streaking, caused by blue-green algae. AR shingles are not available in all regions.

Colors: Please refer to the product brochure or CertainTeed website for the colors available in your region.

Limitations: Use on roofs with slopes greater than 2" per foot. Low-slope applications (2:12 to < 4:12) require additional underlayment. In areas where icing along eaves can cause the back-up of water, apply CertainTeed WinterGuard® Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

Product Composition: Landmark Series shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules are tightly embedded in carefully refined, water-resistant asphalt. Two pieces of the shingle are firmly laminated together in a special, tough asphaltic cement. All Landmark shingles have self-sealing adhesive strips.

Applicable Standards

ASTM D3018 Type I
ASTM D3462
ASTM E108 Class A Fire Resistance
ASTM D3161 Class F Wind Resistance
ASTM D7158 Class H Wind Resistance
UL 790 Class A Fire Resistance

ICC-ES ESR-1389 and ESR-3537
CSA Standard A123.5 (Regional)
Miami-Dade Product Control Approved
Florida Product Approval # FL5444
Meets TDI Windstorm Requirements

Technical Data:

	Landmark (and AR)	Landmark PRO* (and AR)	Landmark Premium (and AR)
Weight/Square (approx.)	219 to 238 lb **	240 to 267 lb **	300 lb
Dimensions (overall)	13 1/4" x 38 3/4"	13 1/4" x 38 3/4"	13 1/4" x 38 3/4"
Shingles/Square (approx.)	66	66	66
Weather Exposure	5 5/8"	5 5/8"	5 5/8"

*Includes Landmark PRO AR/Architect 80

**Dependent on manufacturing location

ATTACHMENT 4 SHINGLES DATA SHEET

Technical Data Sheet

Landmark® Series Shingles

Page 2 of 2

INSTALLATION

Detailed installation instructions are supplied on each bundle of Landmark shingles and must be followed. Separate application sheets may also be obtained from CertainTeed.

Hips and Ridges: For capping hip and ridge apply CertainTeed Shadow Ridge®, Cedar Crest® or Mountain Ridge® shingles of a like color.

MAINTENANCE

These shingles do not require maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

WARRANTY

Landmark Premium (and AR), Landmark PRO/Architect 80 AR, Landmark PRO (and AR), and Landmark (and AR) shingles carry a lifetime limited, transferable warranty to the consumer against manufacturing defects when applied to stated CertainTeed application instructions for this product. In addition, Landmark Premium (and AR), Landmark PRO (and AR), Landmark PRO/Architect 80 AR, and Landmark (and AR) carry 10-years of SureStart™ Protection. Landmark AR shingles carry a 10-year algae resistance warranty. Landmark Premium AR, Landmark PRO AR, and Landmark PRO/Architect 80 AR shingles carry a 15-year algae resistance warranty. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier, roofing contractor or on-line at www.certainteed.com).

FOR MORE INFORMATION

Sales Support Group: 800-233-8990

Web site: www.certainteed.com

See us at our on-line specification writing tool, Certaspec®, at www.certainteed.com/certaspec.

CertainTeed
20 Moores Road
Malvern, PA 19355

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CertainTeed
SAINT-GOBAIN

ATTACHMENT 4
CORRECT HOA
APPROVED SHINGLE



Approved Shenandoah shingle color by the HOA.

ATTACHMENT 5
CONDITIONS OF APPROVAL DRAFT

Manor: 3446-A

Variance Description: Retain CertainTeed Landmark Terracotta Shingles

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

Manor-Specific Conditions:

A. General Comments:

- A.1. Any future leaks and repairs are the owner's responsibility.
- A.2. Existing pipes and vents are to be maintained by the home owner.
- A.3. Remove stacks of roof tiles and properly tie-in to existing roofing.
- A.4. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components, and shoring have been satisfied.

B. Materials and Methods:

- B.1. Not Applicable

C. Requirements for Mutual Consent for Alterations:

- C.1. Prior to the issuance of a Mutual Consent for Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member's expense. All tie-ins may only be made to sound structural elements. Existing structural elements

proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member's expense during construction of the improvement.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.

General Conditions:

G. General Conditions

- G.1. Conformance Deposit: Not Applicable
- G.2. No improvement shall be installed, constructed, modified or altered at 3446-A, ("Property") within the Third Laguna Hills Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Controls and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.3. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department, and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.

- G.4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 3446-A and all future Mutual Members at 3446-A.
- G.5. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.6. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.7. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on Documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.8. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.9. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.10. Must obtain an approved Mutual Consent application within 180 days or 6 months of the variance approval before it is expired.
- G.11. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City

of Laguna Woods permit an applicant must present the appropriate Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.

- G.12. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.13. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.
- G.14. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.15. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.16. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.17. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.18. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.19. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.

- G.20. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- G.21. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.22. Member shall indemnify, defend and hold harmless Third and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.

ATTACHMENT 6
RESOLUTION DRAFT

RESOLUTION 03-22-XX

Variance Request

WHEREAS, Mr. Todd Chapman of 3446-A Bahia Blanca West, an Andaluz style manor, requests Architectural Controls and Standards Committee approval of a variance to retain CertainTeed Landmark terracotta shingles; and,

WHEREAS, a Neighborhood Awareness Notice was sent to Members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Controls and Standards Committee or in person at the Architectural Controls and Standards Committee Meeting on December 19, 2022; and,

WHEREAS, the Architectural Controls and Standards Committee reviewed the variance and moved for approval of the variance to retain CertainTeed Landmark terracotta shingles;

NOW THEREFORE BE IT RESOLVED, on December 19, 2022, the Architectural Controls and Standards Committee hereby approves the request to retain certainteed landmark terracotta shingles; and

RESOLVED FURTHER, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 3446-A Bahia Blanca West and all future Mutual Members at 3446-A Bahia Blanca West; and,

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.

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STAFF REPORT

DATE: December 19, 2022
FOR: Architectural Standards and Controls Committee
SUBJECT: Revision to Standard 4 - Air Conditioning Units/Heat Pumps

RECOMMENDATION

Approve a resolution to revise Standard 4 – Air Conditioning Units/Heat Pumps.

BACKGROUND

The Architectural Controls and Standards Committee (ACSC) requested Staff to review and revise the current Standards for applicability, usefulness, and current technology. There are currently 40 Standards available for Members to use to perform alterations to their Manor. Standard 4 – Air Conditioning Units/Heat Pumps was last revised in July, 2019, via Resolution 03-19-71.

DISCUSSION

The ACSC has reviewed the existing Standard 4 – Air Conditioning Units/Heat Pumps and determined that the Standard needs to be revised to reflect the current Building Codes, Municipal Codes, industry standards or Mutual policies. The proposed revisions to the Standard are as follows:

1. Update the Standard to allow for modern design of outdoor units.
2. Incorporate language to address roof installations under warranty.
3. Allow structural modifications with properly engineered plans and specifications.

FINANCIAL ANALYSIS

None.

Prepared By: Baltazar Mejia, Maintenance & Construction Assistant Director

Reviewed By: Gavin Fogg, Manor Alterations Interim Manager

ATTACHMENT(S)

Attachment 1 – Current Resolution 03-19-71

Attachment 2 – Current Standard 4 – Air Conditioning Units/Heat Pumps

Attachment 3 – Revised Resolution 03-23-XX

Attachment 4 – Redlined Revised Standard 4 – Air Conditioning Units/Heat Pumps

Attachment 5 – Final Draft Standard 4 – Air Conditioning Units/Heat Pumps

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ATTACHMENT 1 – CURRENT RESOLUTION 03-19-71

**RESOLUTION 03-19-71
ALTERATION STANDARD 4:
AIR CONDITIONING UNITS/HEAT PUMPS**

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary; and

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to revise Alteration Standard 4: Air Conditioning Units/Heat Pumps and,

NOW THEREFORE BE IT RESOLVED, July 16, 2019, that the Board of Directors of this Corporation hereby adopts Alteration Standard 4: Air Conditioning Units/Heat Pumps as attached to the official meeting minutes;

RESOLVED FURTHER; that the officers and agents of this Corporation are hereby authorized, on behalf of the Corporation, to carry out this resolution as written.

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ATTACHMENT 2 - CURRENT STANDARD 4

STANDARD 4: AIR CONDITIONING UNITS/HEAT PUMPS

REVISED SEPTEMBER 2005, RESOLUTION 03-05-20
REVISED FEBRUARY 2006, RESOLUTION 03-06-09
REVISED SEPTEMBER 2006, RESOLUTION 03-06-40
REVISED JULY 2010, RESOLUTION 03-10-100
GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49
REVISED SEPTEMBER 2013, RESOLUTION 03-13-98
REVISED JULY 2015, RESOLUTION 03-15-101
REVISED JANUARY 2018, RESOLUTION 03-18-13
REVISED JULY 2019, RESOLUTION 03-19-71

1.0 GENERAL REQUIREMENTS

SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

2.0 THROUGH THE WALL A/C-H/P UNITS

- 2.1** Units must be installed in knock-out panel areas, under windows, or as determined by the Alterations office, with due consideration given to the effect on adjoining manors.
- 2.2** No condensing unit may be located in or project into any walkway, breezeway, or interior court of a three-story building
- 2.3** Window mounted units are prohibited.
- 2.4** Condensing units must not be located at least 12" above grade, unless otherwise approved by the Alterations office due to site conditions.
- 2.5** Sleeves must be painted to match the color of the wall.
- 2.6** Above grade installation of heat pumps require condensation drain line connection to an approved discharge location. Mutual Member assumes all responsibilities for any damage that may occur from condensation.
- 2.7** In the absence of an approved alternate heat source, removal of the through-the-wall AC/Heat pump and wall condensing units is prohibited.
- 2.8** Removal of sleeves in stucco walls:
 - a. Removal of sleeves in three-story buildings is prohibited.
 - b. Removal of sleeves in stucco walls of one and two story buildings shall be evaluated on a case-by-case basis. A variance may be required.

- c. When permitted, removal of sleeves in stucco walls require that the patch must be made in accordance with standard construction practices to maintain the water proof integrity of the wall. The texture and color must match the existing wall. On balconies, the spacing between the wrought iron and exterior of the building will be required to meet Code regulations. Lead samples may be requested by the Alterations Division.

2.8.1 Removal of sleeves in walls with wood siding must be made In accordance with standard construction practices to maintain the water proof integrity of the wall. The entire section of wood siding under a window, from trim to trim, must be replaced and the texture and color must match the existing wood siding.

3.0 CENTRAL AND DUCTLESS UNITS

- 3.1** Only one condensing unit per manor is permitted.
- 3.2** Roof-mounted self-contained package units are prohibited.
- 3.3** No outdoor condensing unit will be larger than 48" high, 37" wide, and 36" deep.
- 3.4** Outdoor condensing units for single level manors shall be installed at ground level only.
- 3.5** Outdoor condensing unit locations for two story buildings are as follows: first floor manors shall be installed at ground level, second floor manors shall be installed only flat roofs, directly above the manor, or at ground level.
- 3.6** Outdoor condensing unit locations for three story buildings are as follows: first floor manors shall be installed at ground level, second floor manors shall be installed on flat roofs directly above the manor, or at ground level, third floor manors will be installed only on flat roofs, directly above the manor.
- 3.7** The location of outdoor condensing units must be approved by the Alterations office. Prior to permit issuance, consideration will be given to any affected or adjoining manors. The Mutual Member is required to submit signed Neighbor Awareness forms as deemed necessary by the Alterations office.
- 3.8** All landscape and irrigation revisions required to accommodate the location of an outdoor condensing unit must be performed by the Mutual at the Mutual Member's expense.

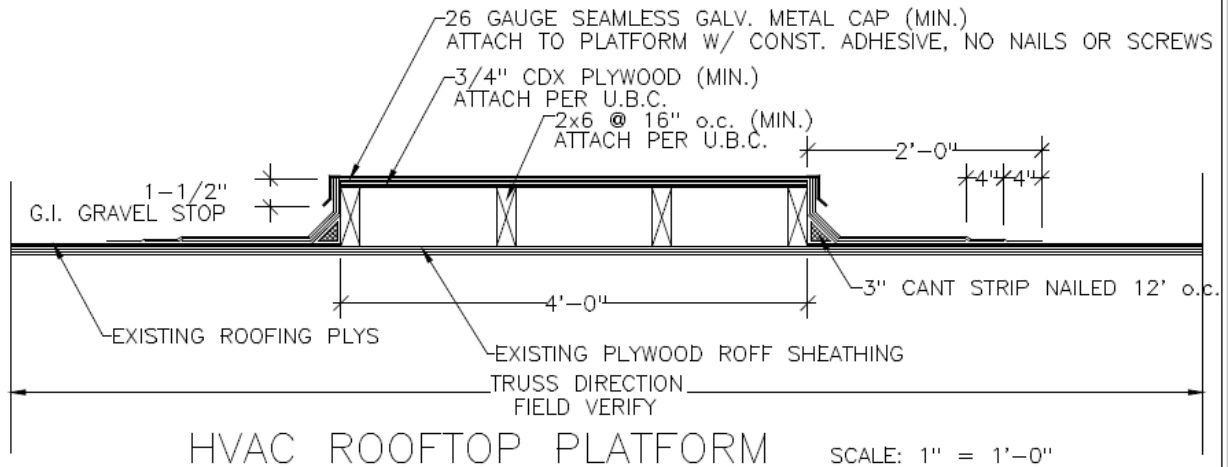
- 3.9** Ground level outdoor condensing units must be located within 24" of the building wall and mounted on a manufactured non-metallic and/or concrete pad.
- 3.10** All exterior wiring, condensate, and coolant lines must be encased in a single, square sheet metal two-piece chaseway painted to match the color of the wall to which it is attached. Roof mounted chases or ducts are prohibited.
- 3.11** The chaseway must be made rodent proof by installing wire mesh at the bottom of the chaseway.
- 3.12** Watertight seals must be provided around all penetrations.
- 3.13** Each installation on a building's elevation that faces another building or heavily traveled common area will be limited to one run and the length must be kept to a minimum and as unobtrusive as possible.
- 3.14** Each installation on a building's elevation that does not face another building or heavily traveled common area will be limited to three runs, and the lengths must be kept to a minimum and be as unobtrusive as possible.
- 3.15** Cutting of a cornice molding to accommodate a chaseway shall be performed by removing the affected section of molding, cutting the metal flashing at both ends, applying sealant under the metal flashing, bending the metal flashing to be flush with the wall and fastening the metal flashing in place using screws. Sealant shall be applied as needed and the cut ends of the cornice molding shall be sealed.
- 3.16** Roof-mounted condensing units must be mounted on a raised platform constructed per Mutual approved Standard Plan drawings. All tie-ins to a PVC Cool Roof must be performed by a certified roofing contractor. A Roofing Contractor Verification form will be required prior to the issuance of a permit.
- 3.17** Cutting or altering of roof trusses for the installation of air handlers in attic spaces is strictly prohibited.
- 3.18** When air handlers are installed in water heater closets, sufficient space must be provided above and around the water heater for repair and replacement of the water heater.

ROOFING NOTES

SPUD EXISTING ROOF AREA AROUND PLATFORM
A MINIMUM OF 2 FEET AWAY FROM EACH SIDE.
PRIMER PLATFORM SIDES, CANT STRIP, AND
SPUDED SURFACE W/ CON PRIME AT THE RATE 1gal per 100 SQ.FT

ROOF AS FOLLOWS PER 100 SQ.FT.

CONPLY TYPE A-IV(2LAYERS)	22lbs	PER 100 SQ.FT.
HMP ASPHALT (PLIES)	60lbs	PER 100 SQ.FT.
CONCAP (1 LAYER)	75lbs	PER 100 SQ.FT.
HMP ASPHALT (SURFACE)	25lbs	PER 100 SQ.FT.
GRAVEL (1/4" - 1/2")	400lbs	PER 100 SQ.FT.



HVAC.DWG REV. 12/95

ATTACHMENT 3 – REVISED RESOLUTION

RESOLUTION 03-23-XX

STANDARD 4:

AIR CONDITIONING UNITS/HEAT PUMPS

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to amend Standards and create new Standards as necessary; and

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to revise Standard 4: Air Conditioning Units/Heat Pumps;

NOW THEREFORE BE IT RESOLVED, [DATE], that the Board of Directors of this Corporation hereby adopts Standard 4: Air Conditioning Units/Heat Pumps as attached to the official meeting minutes; and

RESOLVED FURTHER, that Resolution 03-19-71 adopted July 16, 2019, is hereby superseded in its entirety and no longer in effect; and

RESOLVED FURTHER; that the officers and agents of this Corporation are hereby authorized, on behalf of the Corporation, to carry out this resolution as written.

DECEMBER INITIAL NOTIFICATION: Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 28-days from the postponement to comply with Civil Code §4360

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**ATTACHMENT 4 – REDLINE REVISED STANDARD 4: AIR
CONDITIONING UNITS/HEAT PUMPS**

STANDARD 4: AIR CONDITIONING UNITS/HEAT PUMPS

REVISED SEPTEMBER 2005, RESOLUTION 03-05-20
REVISED FEBRUARY 2006, RESOLUTION 03-06-09
REVISED SEPTEMBER 2006, RESOLUTION 03-06-40
REVISED JULY 2010, RESOLUTION 03-10-100
GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49
REVISED SEPTEMBER 2013, RESOLUTION 03-13-98
REVISED JULY 2015, RESOLUTION 03-15-101
REVISED JANUARY 2018, RESOLUTION 03-18-13
REVISED JULY 2019, RESOLUTION 03-19-71
REVISED [DATE], RESOLUTION 03-23-XX

1.0 GENERAL REQUIREMENTS

SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

2.0 THROUGH THE WALL A/C-H/P UNITS

- 2.1 Units must be installed in knock-out panel areas, under windows, or as determined by the Alterations office, with due consideration given to the effect on adjoining manors.
- 2.2 No condensing unit may be located in or project into any walkway, breezeway, or interior court of a three-story building
- 2.3 Window mounted units are prohibited.
- 2.4 Condensing units must not be located ~~at least~~more than 12" above grade, unless otherwise approved by the Alterations office due to site conditions.
- 2.5 Sleeves must be painted to match the color of the wall.
- 2.6 Above grade installation of heat pumps require condensation drain line connection to an approved discharge location. Mutual Member assumes all responsibilities for any damage that may occur from condensation.
- 2.7 In the absence of an approved alternate heat source, removal of the through-the-wall AC/Heat pump and wall condensing units is prohibited.
- 2.8 Removal of sleeves in stucco walls:
 - a. Removal of sleeves in three-story buildings is prohibited.

- b. Removal of sleeves in stucco walls of one and two story buildings shall be evaluated on a case-by-case basis. A variance may be required.
- c. When permitted, removal of sleeves in stucco walls require that the patch must be made in accordance with standard construction practices to maintain the water proof integrity of the wall. The texture and color must match the existing wall. On balconies, the spacing between the wrought iron and exterior of the building will be required to meet Code regulations. Lead samples may be requested by the Alterations Division.

2.8.1

- d. Removal of sleeves in walls with wood siding must be made In —accordance with —standard construction —practices —to maintain the water proof integrity of the wall. The entire section of wood siding under a window, from trim to trim, must be replaced and the texture and color must match the existing wood siding.

3.0 CENTRAL AND DUCTLESS UNITS

- 3.1 Only one condensing unit per manor is permitted.
- 3.2 Roof-mounted self-contained package units are prohibited.
- 3.3 ~~No outdoor condensing units will be larger than 48" high, 37" wide, and 36" deep~~ must be sized to be the most compact unit appropriate for the manor.
- 3.4 Outdoor condensing units for single level manors shall be installed at ground level only.
- 3.5 Outdoor condensing unit locations for two story buildings are as follows: first floor manors shall be installed at ground level, second floor manors ~~shall~~ may be installed ~~only~~ flat roofs, directly above the manor, or at ground level.
- ~~3.6~~ Outdoor condensing unit locations for three story buildings are as follows: first floor manors shall be installed at ground level, second and third floor manors ~~shall~~ may be installed on flat roofs directly above the manor, or at ground level, ~~third floor manors will be installed only on flat roofs, directly above the manor.~~
- ~~3.7~~ 3.6 The location of outdoor condensing units must be approved by the Alterations office. Prior to ~~permit~~ issuance of a Mutual consent, consideration will be given to any affected or adjoining manors. The Mutual Member is required to submit signed Neighbor Awareness forms as deemed necessary by the Alterations office.
- ~~3.8~~ 3.7 All landscape and irrigation revisions required to accommodate the location of an outdoor condensing unit must be performed by the Mutual at the Mutual Member's expense.

3.93.8 Ground level outdoor condensing units must be located within 24" of the building wall and mounted on a manufactured non-metallic and/or concrete pad.

3.103.9 All exterior wiring, condensate, and coolant lines must be encased in a single, square sheet metal two-piece chaseway painted to match the color of the wall to which it is attached. Roof mounted chases or ducts are prohibited.

3.113.10 The chaseway must be made rodent proof by installing wire mesh at the bottom of the chaseway. The use of steel wool or expanding foam is not allowed.

3.123.11 Watertight seals must be provided around all penetrations.

3.133.12 Each installation on a building's elevation that faces another building or heavily traveled common area will be limited to one run and the length must be kept to a minimum and as unobtrusive as possible.

3.143.13 Each installation on a building's elevation that does not face another building or heavily traveled common area will be limited to three runs, and the lengths must be kept to a minimum and be as unobtrusive as possible.

3.153.14 Cutting of a cornice molding to accommodate a chaseway shall be performed by removing the affected section of molding, cutting the metal flashing at both ends, applying sealant under the metal flashing, bending the metal flashing to be flush with the wall and fastening the metal flashing in place using screws. Sealant shall be applied as needed and the cut ends of the cornice molding shall be sealed.

3.163.15 Roof-mounted condensing units must be mounted on a raised platform constructed per Mutual approved Standard Plan drawings. All tie-ins to a PVC Cool Roof must be performed by a certified roofing contractor. A Roofing Contractor Verification form will be required prior to the issuance of a permit.

3.173.16 Cutting or altering of roof trusses for the installation of air handlers in attic spaces ~~is strictly prohibited~~ must be designed and stamped by a licensed architect or engineer.

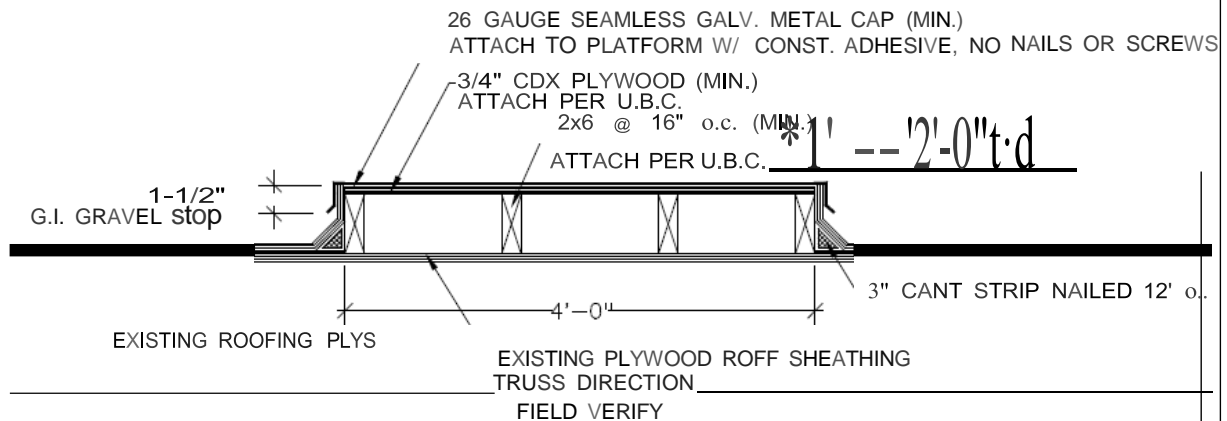
3.183.17 When air handlers are installed in water heater closets, sufficient space must be provided above and around the water heater for repair and replacement of the water heater.

ROOFING NOTES

SPUD EXISTING ROOF AREA AROUND PLATFORM A
 MINIMUM OF 2 FEET AWAY FROM EACH SIDE.
 PRIMER PLATFORM SIDES, CANT STRIP, AND
 SPURD SURFACE W/ CON PRIME AT THE RATE 1gal per 100 SQ.FT

ROOF AS FOLLOWS PER 100 SQ.FT.

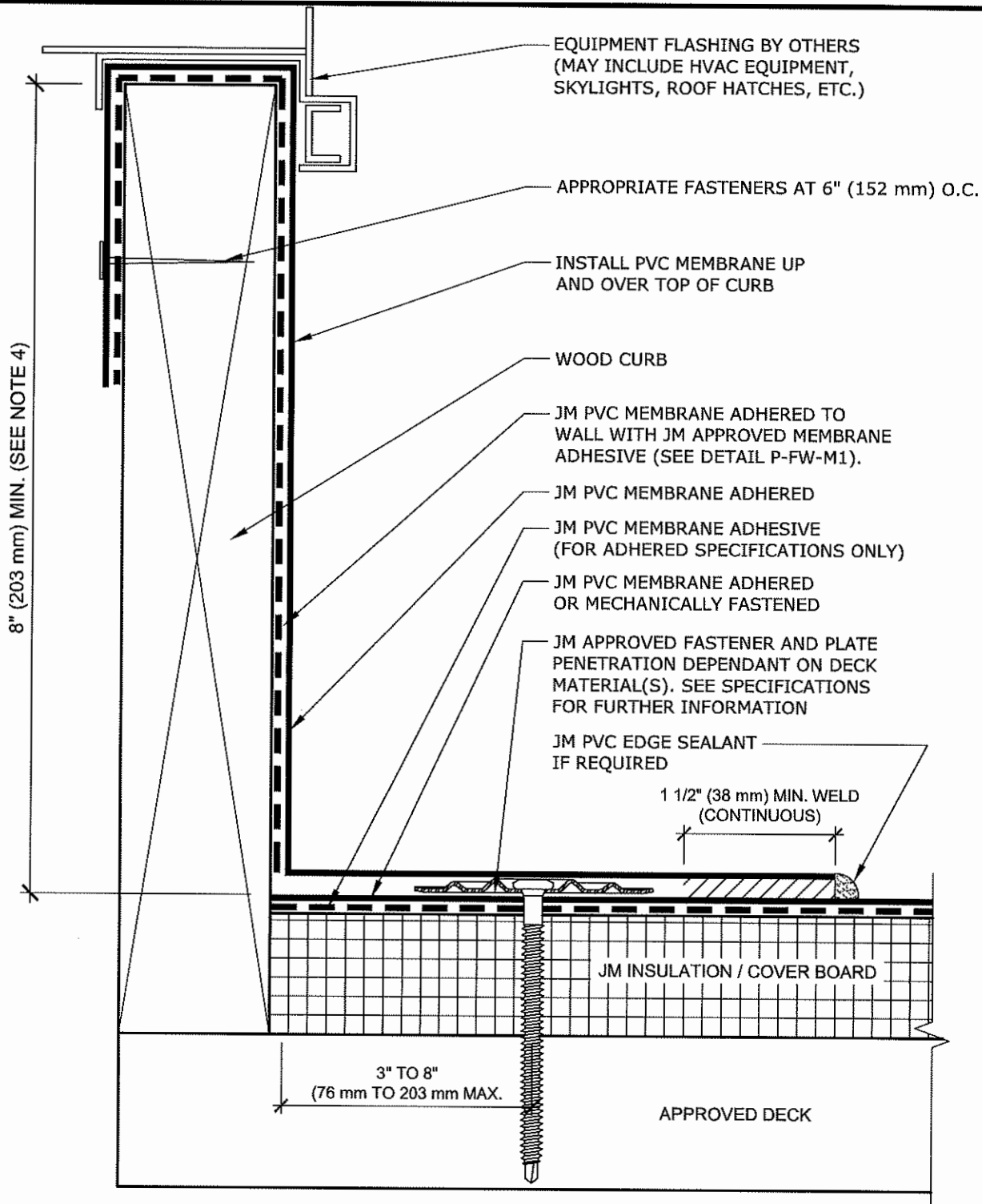
CONPLY TYPE A-IV(2LAYERS).....	22lbs	PER 100 SQ.FT.
HMP ASPHALT (PLIES). . .	60lbs	PER 100 SQ.FT.
CONCAP (1 LAYER). . . .	75lbs	PER 100 SQ.FT.
HMP ASPHALT (SURFACE).	25lbs	PER 100 SQ.FT.
GRAVEL (1/4" - 1/2"). .	400lbs	PER 100 SQ.FT.



HVAC ROOFTOP PLATFORM

SCALE: 1" 1'-0"

HVAC.DWG REV. 12/95



NOTES:

1. REFER TO JOHNS MANVILLE WEBSITE (www.jm.com) FOR MOST UP-TO-DATE INFORMATION.
2. PLEASE SEE SINGLE PLY FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.
3. ANY CARPENTRY OR METAL WORK SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS. THESE COMPONENTS SHOULD BE REVIEWED AND APPROVED BY A LICENSED DESIGN PROFESSIONAL.
4. HEIGHT OF CURB TO BE ADJUSTED WITH NAILERS. IT IS PREFERRED TO RAISE CURB ONTO NAILERS TO EXTEND FLASHING HEIGHT.
5. PVC EDGE SEALANT IS OPTIONAL ON ALL CUT AND NON ENCAPSULATED EDGES OF REINFORCED MEMBRANE. THIS INCLUDES FACTORY CUT MEMBRANE (SEE DETAIL P-MS-01).
6. SEE P-FW-B DETAILS FOR JM APPROVED BASE FLASHING TIE IN TERMINATION METHODS.

DRAWING NO.

P-FC-05

CURB & CORNER

WOOD CURB BASE FLASHING

MEMBRANE TYPE:

JM PVC

MAXIMUM GUARANTEE TERM:

30 YEAR

SCALE

N.T.S

ISSUE DATE

08-07-19

Johns Manville is a manufacturer of commercial roofing products and offers this general conceptual information to you as a courtesy. This complimentary assistance is not to be used or relied upon by anyone as a substitute for professional engineering design and documentation required by building code, contract, or applicable law. By accepting these comments you agree they do not constitute any representations, endorsements of, or an assumption by Johns Manville of any liability for either the adequacy of the design of this building or any other material not supplied by Johns Manville.



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**ATTACHMENT 5 – FINAL DRAFT STANDARD 4: AIR CONDITIONING
UNITS/HEAT PUMPS**

STANDARD 4: AIR CONDITIONING UNITS/HEAT PUMPS

REVISED SEPTEMBER 2005, RESOLUTION 03-05-20
REVISED FEBRUARY 2006, RESOLUTION 03-06-09
REVISED SEPTEMBER 2006, RESOLUTION 03-06-40
REVISED JULY 2010, RESOLUTION 03-10-100
GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49
REVISED SEPTEMBER 2013, RESOLUTION 03-13-98
REVISED JULY 2015, RESOLUTION 03-15-101
REVISED JANUARY 2018, RESOLUTION 03-18-13
REVISED JULY 2019, RESOLUTION 03-19-71
REVISED [DATE], RESOLUTION 03-23-XX

1.0 GENERAL REQUIREMENTS

SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

2.0 THROUGH THE WALL A/C-H/P UNITS

- 2.1** Units must be installed in knock-out panel areas, under windows, or as determined by the Alterations office, with due consideration given to the effect on adjoining manors.
- 2.2** No condensing unit may be located in or project into any walkway, breezeway, or interior court of a three-story building
- 2.3** Window mounted units are prohibited.
- 2.4** Condensing units must not be located more than 12" above grade, unless otherwise approved by the Alterations office due to site conditions.
- 2.5** Sleeves must be painted to match the color of the wall.
- 2.6** Above grade installation of heat pumps require condensation drain line connection to an approved discharge location. Mutual Member assumes all responsibilities for any damage that may occur from condensation.
- 2.7** In the absence of an approved alternate heat source, removal of the through-the-wall AC/Heat pump and wall condensing units is prohibited.
- 2.8** Removal of sleeves in stucco walls:
 - a. Removal of sleeves in three-story buildings is prohibited.
 - b. Removal of sleeves in stucco walls of one and two story buildings

shall be evaluated on a case-by-case basis. A variance may be required.

- c. When permitted, removal of sleeves in stucco walls require that the patch must be made in accordance with standard construction practices to maintain the water proof integrity of the wall. The texture and color must match the existing wall. On balconies, the spacing between the wrought iron and exterior of the building will be required to meet Code regulations. Lead samples may be requested by the Alterations Division.
- d. Removal of sleeves in walls with wood siding must be made In accordance with standard construction practices to maintain the water proof integrity of the wall. The entire section of wood siding under a window, from trim to trim, must be replaced and the texture and color must match the existing wood siding.

3.0 CENTRAL AND DUCTLESS UNITS

- 3.1** Only one condensing unit per manor is permitted.
- 3.2** Roof-mounted self-contained package units are prohibited.
- 3.3** Outdoor condensing units must be sized to be the most compact unit appropriate for the manor.
- 3.4** Outdoor condensing units for single level manors shall be installed at ground level only.
- 3.5** Outdoor condensing unit locations for two story buildings are as follows: first floor manors shall be installed at ground level, second floor manors may be installed on flat roofs, directly above the manor, or at ground level.
- 3.6** Outdoor condensing unit locations for three story buildings are as follows: first floor manors shall be installed at ground level, second and third floor manors may be installed on flat roofs directly above the manor, or at ground level. The location of outdoor condensing units must be approved by the Alterations office. Prior to issuance of a Mutual consent, consideration will be given to any affected or adjoining manors. The Mutual Member is required to submit signed Neighbor Awareness forms as deemed necessary by the Alterations office.
- 3.7** All landscape and irrigation revisions required to accommodate the location of an outdoor condensing unit must be performed by the Mutual at the Mutual Member's expense.
- 3.8** Ground level outdoor condensing units must be located within 24" of the building wall and mounted on a manufactured non- metallic and/or

concrete pad.

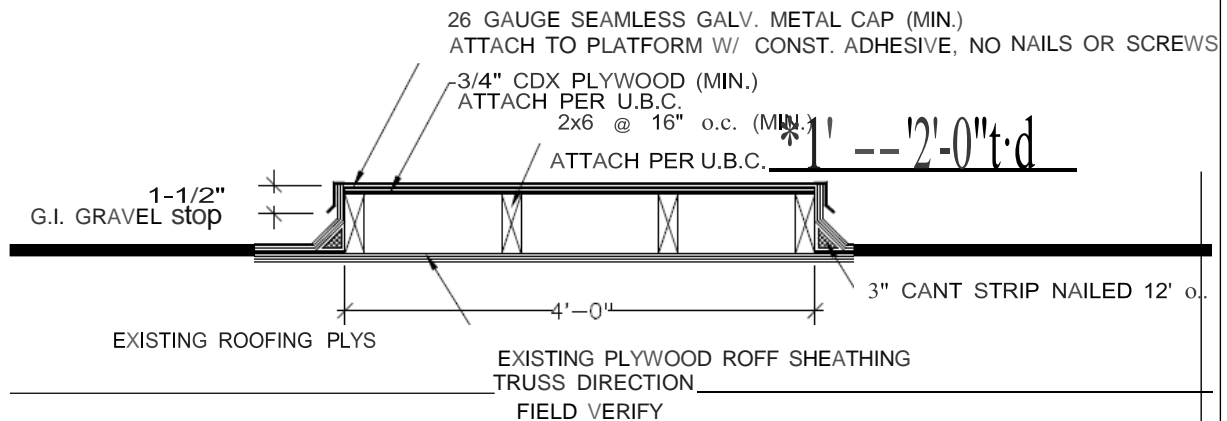
- 3.9** All exterior wiring, condensate, and coolant lines must be encased in a single, square sheet metal two-piece chaseway painted to match the color of the wall to which it is attached. Roof mounted chases or ducts are prohibited.
- 3.10** The chaseway must be made rodent proof by installing wire mesh at the bottom of the chaseway. The use of steel wool or expanding foam is not allowed.
- 3.11** Watertight seals must be provided around all penetrations.
- 3.12** Each installation on a building's elevation that faces another building or heavily traveled common area will be limited to one run and the length must be kept to a minimum and as unobtrusive as possible.
- 3.13** Each installation on a building's elevation that does not face another building or heavily traveled common area will be limited to three runs, and the lengths must be kept to a minimum and be as unobtrusive as possible.
- 3.14** Cutting of a cornice molding to accommodate a chaseway shall be performed by removing the affected section of molding, cutting the metal flashing at both ends, applying sealant under the metal flashing, bending the metal flashing to be flush with the wall and fastening the metal flashing in place using screws. Sealant shall be applied as needed and the cut ends of the cornice molding shall be sealed.
- 3.15** Roof-mounted condensing units must be mounted on a raised platform constructed per Mutual approved Standard Plan drawings. All tie-ins to a PVC Cool Roof must be performed by a certified roofing contractor. A Roofing Contractor Verification form will be required prior to the issuance of a permit.
- 3.16** Cutting or altering of roof trusses for the installation of air handlers in attic spaces must be designed and stamped by a licensed architect or engineer.
- 3.17** When air handlers are installed in water heater closets, sufficient space must be provided above and around the water heater for repair and replacement of the water heater.

ROOFING NOTES

SPUD EXISTING ROOF AREA AROUND PLATFORM A
 MINIMUM OF 2 FEET AWAY FROM EACH SIDE.
 PRIMER PLATFORM SIDES, CANT STRIP, AND
 SPURD SURFACE W/ CON PRIME AT THE RATE 1gal per 100 SQ.FT

ROOF AS FOLLOWS PER 100 SQ.FT.

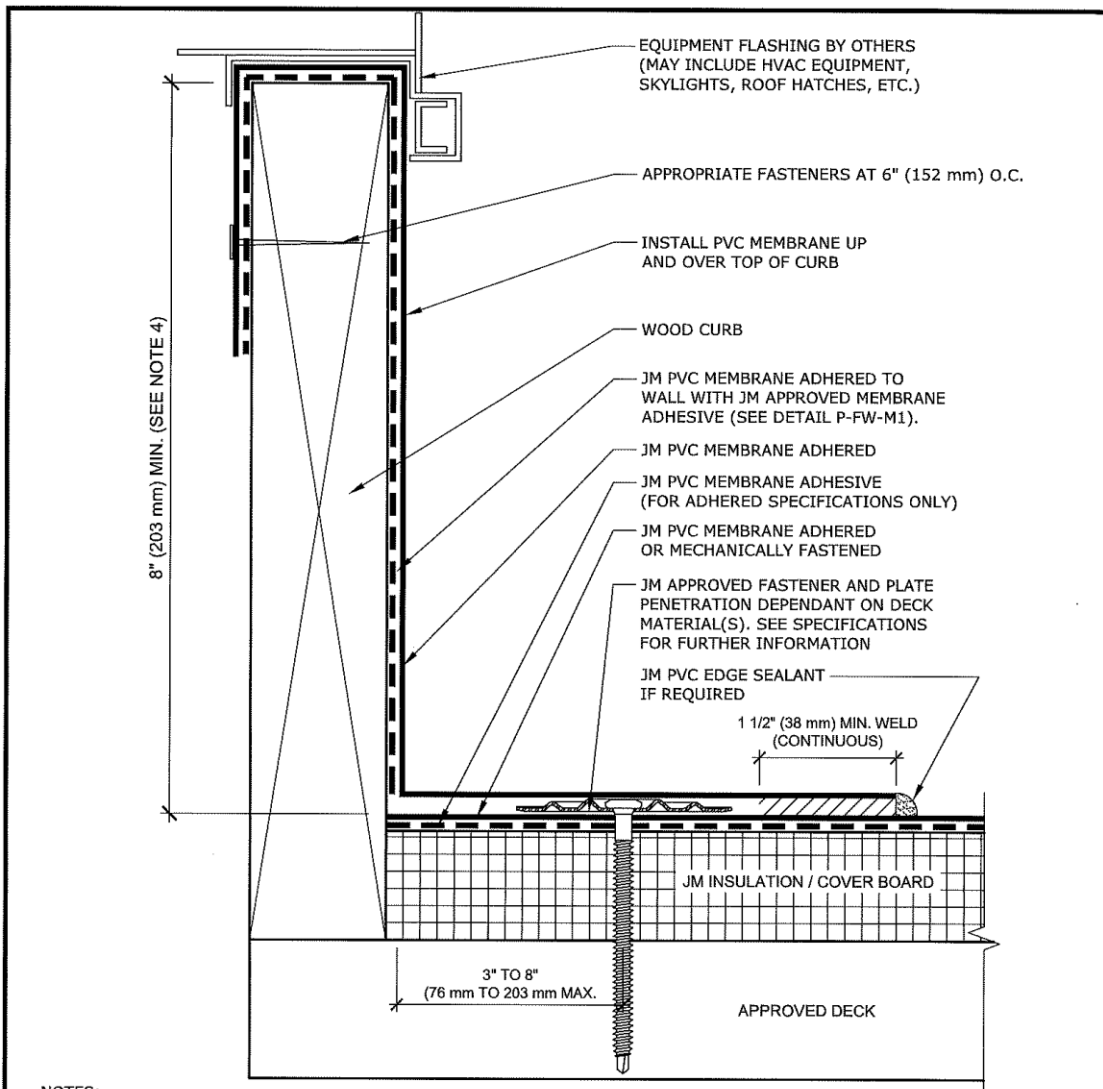
CONPLY TYPE A-IV(2LAYERS).....	22lbs	PER 100 SQ.FT.
HMP ASPHALT (PLIES). . .	60lbs	PER 100 SQ.FT.
CONCAP (1 LAYER).	75lbs	PER 100 SQ.FT.
HMP ASPHALT (SURFACE).	25lbs	PER 100 SQ.FT.
GRAVEL (1/4" - 1/2"). . .	400lbs	PER 100 SQ.FT.



HVAC ROOFTOP PLATFORM


SCALE: 1" 1'-0"

HVAC.DWG REV. 12/95



NOTES:

1. REFER TO JOHNS MANVILLE WEBSITE (www.jm.com) FOR MOST UP-TO-DATE INFORMATION.
2. PLEASE SEE SINGLE PLY FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.
3. ANY CARPENTRY OR METAL WORK SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS. THESE COMPONENTS SHOULD BE REVIEWED AND APPROVED BY A LICENSED DESIGN PROFESSIONAL.
4. HEIGHT OF CURB TO BE ADJUSTED WITH NAILERS. IT IS PREFERRED TO RAISE CURB ONTO NAILERS TO EXTEND FLASHING HEIGHT.
5. PVC EDGE SEALANT IS OPTIONAL ON ALL CUT AND NON ENCAPSULATED EDGES OF REINFORCED MEMBRANE. THIS INCLUDES FACTORY CUT MEMBRANE (SEE DETAIL P-MS-01).
6. SEE P-FW-B DETAILS FOR JM APPROVED BASE FLASHING TIE IN TERMINATION METHODS.

DRAWING NO.		WOOD CURB BASE FLASHING		
P-FC-05		MEMBRANE TYPE:	Johns Manville is a manufacturer of commercial roofing products and offers this general conceptual information to you as a courtesy. This complimentary assistance is not to be used or relied upon by anyone as a substitute for professional engineering design and documentation required by building code, contract, or applicable law. By accepting these comments you agree they do not constitute any representation, endorsement of, or an assumption by Johns Manville of any liability for either the adequacy of the design of this building or any other material not supplied by Johns Manville.	
CURB & CORNER		JM PVC		
SCALE	ISSUE DATE	MAXIMUM GUARANTEE TERM:		
N.T.S	08-07-19	30 YEAR		

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STAFF REPORT

DATE: December 19, 2022
FOR: Architectural Controls and Standards Committee
SUBJECT: Revision to Standard 31: Washer & Dryer Installations

RECOMMENDATION

Approve a resolution to revise Standard 31: Washer & Dryer Installations.

BACKGROUND

The Architectural Controls and Standards Committee (ACSC) requested staff to review and revise the current Standards for applicability, usefulness, and current technology. There are currently 40 Standards available for members to use to perform alterations to their manor. Standard 31 – Washer & Dryer Installations was last revised in December 2018, via Resolution 03-18-156.

DISCUSSION

The ACSC has reviewed the existing Standard 31: Washer & Dryer Installations and determined that the Standard needs to be revised to reflect the current Building Codes, Municipal Codes, or mutual policies. The proposed revisions to the Standard are as follows:

1. Update the Standard to allow for the installation of washers and dryers in 3-story buildings.

FINANCIAL ANALYSIS

There is no financial impact to the mutual if these revisions are implemented.

Prepared By: Gavin Fogg, Manor Alterations Interim Manager

Reviewed By: Baltazar Mejia, Maintenance & Construction Assistant Director

ATTACHMENT(S)

Attachment 1 – Current Resolution 03-18-156
Attachment 2 – Current Standard 31: Washer & Dryer Installations
Attachment 3 – Revised Resolution 03-23-XX
Attachment 4 – Redlined Revised Standard 31: Washer & Dryer Installations
Attachment 5 – Final Draft Standard 31: Washer & Dryer Installations

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ATTACHMENT 1 – CURRENT RESOLUTION 03-18-156

RESOLUTION 03-18-156

REVISE ALTERATION STANDARD 31: WASHER AND DRY INSTALLATIONS

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary; and,

WHEREAS, the Architectural Control and Standard Committee recognizes the need to revise Alteration Standard 31: Washer and Dry Installations; and

WHEREAS, Resolution M3-98-65 ceased the acceptance of variance requests for installations of washers and dryers in three-story buildings and, by inference, “grandfathered” previous permitted installations of washers and dryers.

NOW THEREFORE BE IT RESOLVED, November 29, 2018, that the Board of Directors of this Corporation hereby adopts Alteration Standard 31: Washer and Dry Installations as attached to the official meeting minutes;

RESOLVED FURTHER, that Resolution M3-98-65 adopted December, 1998, is hereby superseded in its entirety and no longer in effect;

RESOLVED FURTHER; all washer and dryers installed in three story buildings with a Mutual Consent prior to December 15, 1998, continue to be “grandfathered;”

RESOLVED FURTHER, all washers and dryers installed after December 15, 1998, or without a Mutual Consent, shall be removed at the sole expense of the owner upon its discovery;

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution as written.

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ATTACHMENT 2 - CURRENT STANDARD 31



STANDARD 31: WASHER & DRYER INSTALLATIONS

APRIL 1991

REVISED DECEMBER 1998, RESOLUTION M3-98-65

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

GENERAL REQUIREMENTS REVISED JANUARY 2018, RESOLUTION 03-18-12

REVISED DECEMBER 2018, RESOLUTION 03-18-156

1.0 GENERAL REQUIREMENTS

See Standard Section 1: General Requirements

2.0 EXTERIOR CABINETS

- 2.1** All patio installations shall be enclosed in a cabinet which meets all manufacturer's requirements.
- 2.2** The cabinet design shall be submitted to the Alterations Division prior to issuance of a Mutual Consent. The design shall address protection of the equipment from the elements.
- 2.3** Cabinets must be obscured from public view (i.e., block wall, closed patio).
- 2.4** Cabinets to be painted to match existing color of building.
- 2.5** Location of unit and/or plumbing connections must be submitted in writing to the the Alterations Division prior to issuance of a Mutual Consent.
- 2.6** A Mutual Consent will be not be issued for manors that do not qualify as determined by existing waste line sizes. Minimum sizes are 3" ABS plastic and 3" cast iron.
- 2.7** All penetrations through existing walls shall be properly flashed and caulked to provide a weather tight seal around all protruding plumbing, electrical and vent lines.

- 2.8 Connections below slab shall be properly vented and covered with sand and "Visqueen" before replacement of concrete.
- 2.9 All hot and cold water supply lines shall be of minimum 1/2" diameter, type L copper.
- 2.10 All pressure lines shall be securely strapped to prevent movement or knocking.
- 2.11 All electrical wiring to be located in walls. No exposed conduit will be permitted.
- 2.12 **The installation of washers and dryers in three-story buildings is prohibited and variance requests for washers and dryers in three-story buildings will not be accepted.**

ATTACHMENT 3 – REVISED RESOLUTION 03-23-XX

RESOLUTION 03-23-XX

STANDARD 31: WASHER AND DRYER INSTALLATIONS

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to amend Standards and create new Standards as necessary; and,

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to revise Alteration Standard 31: Washer and Dryer Installations; and

WHEREAS, Resolution M3-98-65 ceased the acceptance of variance requests for installations of washers and dryers in three-story buildings and, by inference, “grandfathered” previous permitted installations of washers and dryers;

NOW THEREFORE BE IT RESOLVED, [DATE], that the Board of Directors of this Corporation hereby adopts Standard 31: Washer and Dryer Installations as attached to the official meeting minutes; and

RESOLVED FURTHER, that Resolution M3-98-65 adopted December 15, 1998, and 03-18-156 adopted November 29, 2018, is hereby superseded in its entirety and no longer in effect; and

RESOLVED FURTHER, all washer and dryers installed in three story buildings with a Mutual Consent prior to [DATE] continue to be “grandfathered;” and

RESOLVED FURTHER; that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution as written.

DECEMBER INITIAL NOTIFICATION: Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 28-days from the postponement to comply with Civil Code §4360

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STANDARD 31: WASHER & DRYER INSTALLATIONS

APRIL 1991

REVISED DECEMBER 1998, RESOLUTION M3-98-65

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49
GENERAL REQUIREMENTS REVISED JANUARY 2018, RESOLUTION 03-18-12

REVISED DECEMBER 2018, RESOLUTION 03-18-156

REVISED [DATE], RESOLUTION 03-23-XX

1.0 GENERAL REQUIREMENTS

See Standard Section 1: General Requirements

2.0 EXTERIOR CABINETS

- 2.1 All patio installations shall be enclosed in a cabinet which meets all manufacturer's requirements.
- 2.2 The cabinet design shall be submitted to the Alterations Division prior to issuance of a Mutual Consent. The design shall address protection of the equipment from the elements as well as the architecture of the building.
- 2.3 Cabinets must be obscured from public view (i.e., block wall, closed patio).
- 2.4 Cabinets to be painted to match existing color of building.
- 2.5 Location of unit and/or plumbing connections must be submitted in writing to the the Alterations Division prior to issuance of a Mutual Consent.
- 2.6 A Mutual Consent will be not be issued for the installation of new washers and dryers for manors that do not qualify as determined by existing waste line sizes. Minimum sizes are 3" ABS plastic and 3" cast iron.
- 2.7 All penetrations through existing walls shall be properly flashed and caulked to provide a weather tight seal around all protruding plumbing, electrical and vent lines.

- 2.8 Connections below slab shall be properly vented and covered with sand and "Visqueen" before replacement of concrete.
- 2.9 All hot and cold water supply lines shall be of minimum 1/2" diameter, type L copper and as required by the currently City-adopted Building codes.
- 2.10 All pressure lines shall be securely strapped to prevent movement or knocking.
- 2.11 All electrical wiring to be located in walls. No exposed conduit will be permitted.
- 2.12 The installation of washers and dryers in three-story buildings ~~is prohibited and variance requests for washers and dryers in three-story buildings will not be accepted.~~ may be permitted under one of the following conditions:
- a. For building with waste lines that have been recently (less than five years) epoxy-lined, a licensed engineer must confirm that the existing waste line has the capacity to handle the additional flow from these appliances.
 - b. For buildings with the original waste lines, a licensed engineer must verify that the existing waste lines have the capacity to handle the additional flow. Any approved installations will require that the waste line be cleared of any obstructions and/or build up. Depending on the condition of the waste line, the Member may be required to replace or epoxy-line the waste line from the washer to the main line. The engineer of record must certify that the waste line meets the requirements of the design.
 - c. All installations must have an appropriate plastic pan designed to catch any liquid that may inadvertently leak or be spilled.
 - d. All installations must include sound dampening rubber pads for the feet of approved appliance.
- 2.122.13 Any penetrations made on Mutual-owned flat PVC roofs requires express approval by the Mutual via Mutual Consent. For roofs under warranty, the roofing contractor holding the warranty shall be hired to complete the roof tie-in work.



STANDARD 31: WASHER & DRYER INSTALLATIONS

APRIL 1991

REVISED DECEMBER 1998, RESOLUTION M3-98-65

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49
GENERAL REQUIREMENTS REVISED JANUARY 2018, RESOLUTION 03-18-12

REVISED DECEMBER 2018, RESOLUTION 03-18-156

REVISED [DATE], RESOLUTION 03-23-XX

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